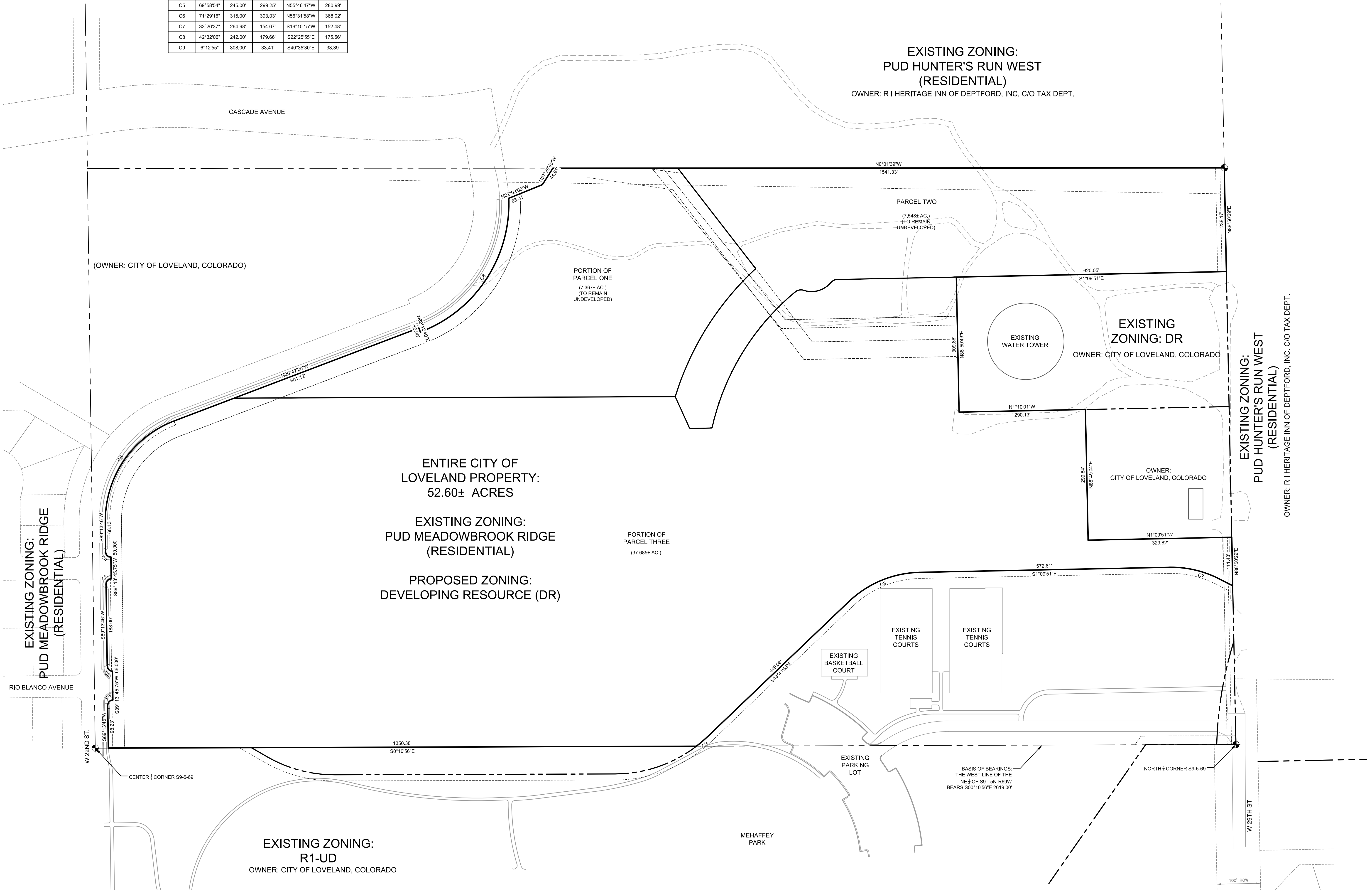


DATE: 8/3/2015 TIME: 8:35:54 AM PROJ. NO.: SME DRAWER: CDB
 DRAWING NAME: Z100_ZONING_MAP.DWG
 PATH: C:\UNITED_CIVIL\PROJ\PROJECTS\15009 - FOOTHILLS SOLAR\CAD\CAD\ZONING.MXD

Curve Table					
CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	90°00'00"	12.00'	18.85'	N45°46'14"W	16.97'
C2	90°00'00"	12.00'	18.85'	S44°13'46"W	16.97'
C3	90°00'00"	12.00'	18.85'	N45°46'14"W	16.97'
C4	90°00'00"	12.00'	18.85'	S44°13'46"W	16.97'
C5	69°58'54"	245.00'	299.25'	N55°48'47"W	280.99'
C6	71°29'16"	315.00'	393.03'	N56°31'58"W	368.02'
C7	33°26'37"	264.98'	154.67'	S16°10'15"W	152.48'
C8	42°32'06"	242.00'	179.66'	S22°25'55"E	175.56'
C9	6°12'55"	308.00'	33.41'	S40°35'30"E	33.39'



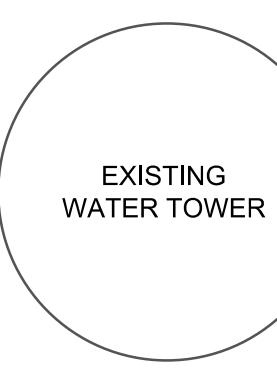
**EXISTING ZONING:
 PUD HUNTER'S RUN WEST
 (RESIDENTIAL)**
 OWNER: R I HERITAGE INN OF DEPTFORD, INC. C/O TAX DEPT.

CASCADE AVENUE

(OWNER: CITY OF LOVELAND, COLORADO)

PORTION OF
 PARCEL ONE
 (7.367± AC.)
 (TO REMAIN
 UNDEVELOPED)

PARCEL TWO
 (7.548± AC.)
 (TO REMAIN
 UNDEVELOPED)



**EXISTING
 ZONING: DR**
 OWNER: CITY OF LOVELAND, COLORADO

**EXISTING ZONING:
 PUD HUNTER'S RUN WEST
 (RESIDENTIAL)**
 OWNER: R I HERITAGE INN OF DEPTFORD, INC. C/O TAX DEPT.

**ENTIRE CITY OF
 LOVELAND PROPERTY:
 52.60± ACRES**

**EXISTING ZONING:
 PUD MEADOWBROOK RIDGE
 (RESIDENTIAL)**

**PROPOSED ZONING:
 DEVELOPING RESOURCE (DR)**

PORTION OF
 PARCEL THREE
 (37.685± AC.)

**EXISTING ZONING:
 PUD MEADOWBROOK RIDGE
 (RESIDENTIAL)**

RIO BLANCO AVENUE

W 22ND ST.

CENTER CORNER S9-5-69

**EXISTING ZONING:
 R1-UD**
 OWNER: CITY OF LOVELAND, COLORADO

MEHAFFEY
 PARK

EXISTING
 BASKETBALL
 COURT

EXISTING
 TENNIS
 COURTS

EXISTING
 TENNIS
 COURTS

EXISTING
 PARKING
 LOT

BASIS OF BEARINGS:
 THE WEST LINE OF THE
 NE 1/4 OF S9-15N-R99W
 BEARS S00°10'56"E 2619.00'

NORTH CORNER S9-5-69

W 20TH ST.

100' ROW



Civil Engineering &
 Consulting

1501 Academy Ct.
 Ste. 203
 Fort Collins, CO 80524
 (970) 530-4044
 www.unitedcivil.com

NO.	BY	DATE	REVISIONS

CAUTION: The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or use of these plans. All changes to the plans must be in writing and must be approved by the preparer of these plans.

**FOOTHILLS SOLAR AND SUBSTATION
 ZONING MAP**

DATE SUBMITTED: 8/4/2015

PREPARED FOR: LOVELAND WATER & POWER

SHEET NUMBER	Z-100
OF SHEETS	2
SCALE	VERTICAL: 1" = N/A HORIZONTAL: 1" = 100'
JOB NUMBER	U15009