



Current Planning Division

410 E. 5th Street • Loveland, CO 80537
(970) 962-2523 • www.cityofloveland.org/DC
eplan-planning@cityofloveland.org

Residential Accessory Buildings

What is an Accessory Building?

Accessory buildings are detached structures such as garages, sheds, storage buildings and greenhouses. An accessory building and its use, must be “incidental and customary” to the principle building and use on the property.



What is the total square footage allowed for an accessory building?

The maximum size for a detached garage or other similar building is 900 square feet. Otherwise, there are no specific limitations on size, except that the size and number of accessory buildings must meet the criteria of being “incidental and customary.” Both the individual building and the total size and number of all accessory buildings on the property are considered by the City. For example, if you had an existing 80 square foot shed on the property, then the maximum size of an additional accessory building would be 820 square feet.

Do I need a permit to construct/install an accessory building?

A building permit may be required depending on the size of the accessory building or if you are planning to install electricity, gas or water to the building. Even if the building permit is not required, all other requirements and limitation still apply. Contact the Building Division at 970-962-2632 for more information.

Are there restrictions or requirements for exterior design or materials for accessory buildings?

Sometimes. For accessory buildings in the R1e, R1, R2, R3e, and R3 zones, and residential uses in the Be and B zones, any material meeting the Building Code is normally acceptable. This may also depend on the required separation distance described above. Conditions of approval from Variances, Special Reviews, or a Planned Unit Development (PUD), specific architectural requirements may also apply. For further information regarding properties in a PUD, check with the Current Planning Division at (970) 962-2523.

Are there any restrictions on the location of an accessory building?

Yes. All accessory buildings must comply with the applicable building setback, any applicable building separation regulations, and may not be placed in any easement or right-of-way.

- **Setback** is the minimum distance that must be maintained between a structure and property lines, (as determined by the Zoning Code).
- **Building Separation** is the distance between two adjacent structures, (as determined by the Building Code).
- **Easements** are areas that have been specifically designated for installation and maintenance of public utilities of functions, and are usually located along the interior perimeters of your property.
- **Right-of-way** is an area that has been specifically designated to allow passage of vehicles, bikes and/or pedestrians.

Accessory building must comply with the following minimum setbacks:

- For residential properties in a PUD zone district, refer to the custom setbacks stated in each PUD development plan on file with the City. Some PUDs do not allow any accessory buildings.
- R1e, R1 and R2 zone districts, and single-family / two-family / three-family in the R3e and R3 zone districts:

Front Setback: 20 feet

Rear Setback: 5 feet

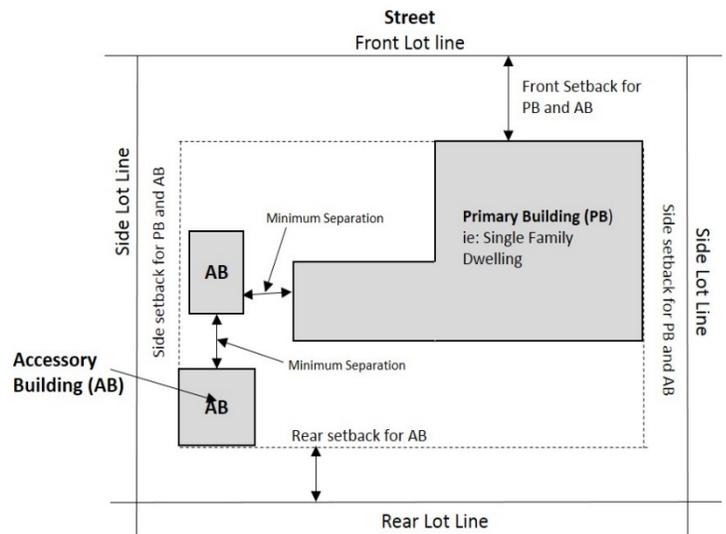
*Side Setback: 5 feet from interior property lines;
15 feet from property lines adjacent to a street*

- Four-family and upwards in the R3e and R3 zone districts:

Front Setback: 25 feet

Rear Setback: 5 feet

*Side Setback: 5 feet from interior property lines;
15 feet from property lines adjacent to a street*

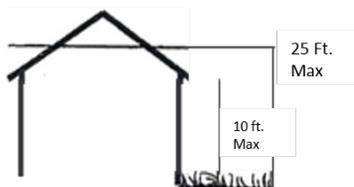


Are there height limitations for an accessory building?

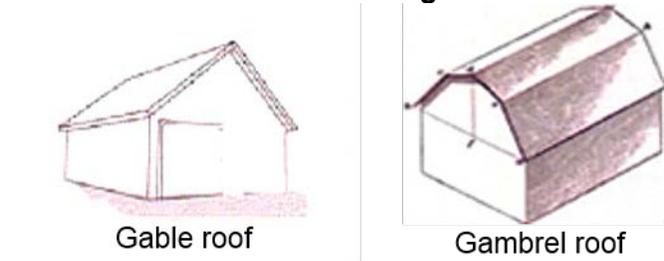
Yes. The maximum building height is determined by the following criteria:

- a. What is incidental and customary for the property, the neighborhood and the community;
- b. No more than 25 feet, as measured from the ground to the mid-line of a pitched roof or;
- c. No more than 25 feet, as measured from the ground to the highest point of a flat roof, or to the top of the parapet;
- d. For detached garages and similar buildings, the roof eaves may not be more than 10 feet above the ground measured at the building foundation; and the roof pitch must be the same as, or similar to, the roof pitch of the dwelling unit on the property.

Example of how building height is measured for a sloped roof:



Two common roof designs:



For information on the setbacks, easement or rights-of-way for your property contact the Current Planning Division at 970-962-2523. Contact the Building Division for building separation regulations at 970-962-2610.

This flyer is not intended to cover all of the City of Loveland's code regarding Residential Accessory Buildings.