
FINAL FINDINGS AND DETERMINATIONS Type II
Zoning Permit
Lockaway Self-Storage
Special Review #931

Posted: March 31, 2017

TITLE: Lockaway Self-Storage –Special Review #931
(PZ #16-0227)

LOCATION: The general location is south and east of the intersection of
Eisenhower Boulevard and Gorom Avenue

APPLICANT: Richard Hazel – Hauser Architects P.C.
Don Clauson – Property Owner

STAFF CONTACT: David Eisenbraun, Current Planning

APPLICATION TYPE: Special Review #931

STAFF RECOMMENDATION: Staff recommends that the Current Planning
Manager approve this special review for the proposal of
101,092 SF self-storage facility on approximately 4.8 Acres
of land with a mixture of both climate controlled and typical
drive aisle type amenities., subject to the conditions and
corrections listed in Sections VIII and IX of this report.

I. ATTACHMENTS

- 1. Vicinity Map
- 2. Renderings
- 3. Special Review/SDP

II. SITE DATA

EXISTING USE Vacant & Car Sales
 PROPOSED USE Self Storage Facility
 EXISTING ZONING AREA (acres)..... B – Developing Business (4.8 acres)

EXISTING ADJACENT ZONING & USE- North..... B – Developing Business – Commercial
 EXISTING ADJACENT ZONING & USE - East B – Developing Business – Commercial
 EXISTING ADJACENT ZONING & USE- South..... I – Developing Industrial – Vacant
 EXISTING ADJACENT ZONING & USE - West..... I – Developing Industrial – Storage

UTILITY SERVICE – WATER..... City of Loveland
 UTILITY SERVICE – SEWER City of Loveland
 UTILITY SERVICE – ELECTRIC..... City of Loveland

III. PROJECT DESCRIPTION

Lockaway Self-Storage is proposing to develop a 4.8 acre site for self-storage, consisting of approximately 101,000 SF. The north side of the property is currently being utilized by a car dealership, while the southern half is vacant.

The special review plans, included as **Attachment 2** to this report, show the location and layout of the self-storage facilities in relation to the surrounding parcels. Due to the proposed use on this property, it must go through this combined special review and site development plan process.

The project as a whole has a mix of amenities for those looking at storage varying from traditional drive aisle roll up doors to climate controlled units. The premise will be under 24/7 surveillance while landscaping and commercial style architecture will enhance this underdeveloped site.



Lockaway Self-Storage

The development proposal for the self-storage facility near one of Loveland’s primary corridors has met and exceeded our design standards. Lockaway proposes to have 7 different buildings on their site, each designed and intended for a specific user type. Their main building will be geared towards a niche market consisting of various sized climate controlled units along with an inviting customer atrium. Additionally, this primary building, most visible from Eisenhower Boulevard, will be a three-story unit that will also house their leasing office. An example of the three-story proposal can be seen below (NE perspective).



In terms of buffering between the various adjacent uses, landscape buffers and fencing are proposed. On the north, east and west sides, there will be a combination of landscaping and privacy fences to help assimilate this development in appearance to the rest of the corridor while the north and east sides have been designed to exceed our standards, giving the adjacent commercial uses the most screening and mitigation. The south side, adjacent to future industrial land uses, will have a large detention pond adding in additional space to this development. The landscaping will consist of coniferous plantings ranging in size from 6-8 feet in height, deciduous trees ranging in caliper from 1.5 to 2.5 inches, and deciduous shrubs ranging in size from 5 feet to 15 feet tall when mature.

At the neighborhood meeting, one (1) person was in attendance in addition to the staff project planner and applicant team. Related to site and building design, there were no issues.

Being that this project is a Special Review/Site Development Plan, and based on the public input at this time, the process will proceed forward allowing interested parties to formally comment or appeal the Lockaway Self-Storage through the Public Comment and Appeal Periods as described below.

IV. KEY ISSUES

None at this time.

V. BACKGROUND

- 2016 In May, a concept review meeting was held to discuss opportunities and project viability at this location for this proposed use.
- 2016 In December, a formal Special Review/SDP was submitted for staff to review.

VI. STAFF, APPLICANT, AND NEIGHBORHOOD INTERACTION

- A. Notification:** A letter advertising the neighborhood meeting was sent out by the applicant, Richard Hazel, on February 22, 2017 to all neighbors within the “Neighborhood” as defined in Section 18.40.010.C of the Loveland Municipal Code. Meeting notice signs were also posted on the property on February 22, 2017.
- B. Neighborhood Response:** A neighborhood meeting was held at 5:30 on March 9, 2017 in the new Development Center Building (old Fire Administration Building). At the meeting was 1 attendee who had no major concerns.
- C. Project Schedule**
1. Special Review #931 was filed with the Current Planning Division on December 19, 2016.
 2. A neighborhood meeting for the special review was held on March 9, 2017. 1 neighbor attended.
 3. The staff preliminary findings and determination was posted on March 14, 2017.
 8. The public review period for the staff preliminary findings and determination is from March 14, 2017 to March 29, 2017.
 9. The final findings and determination for the Special Review will be posted on March 31, 2017 and the appeal period will be from March 31, 2017 to April 10, 2017.

VII. FINDINGS AND ANALYSIS

Finding 1. *That the proposed special review use meets the purposes set forth in Section 18.04.010 of the Loveland Municipal Code.*

The proposed development of Lockaway Self-Storage would meet the purposes set forth in Section 18.04.010 of the Loveland Municipal Code, by not creating unsafe or unhealthy conditions and will generally promote the health and welfare of Loveland's neighborhoods and corridors.

Finding 2. *That the effects of the proposed special review use on the surrounding neighborhood and the public in general will be ameliorated.*

The effects of this use on the surrounding property owners will be lessened through the site layout, landscaping and screening of the project. New landscaping and pedestrian connections will enhance the overall connectivity and character of this corridor. Street trees and a large detention pond will create a pleasant site and feeling as both cars and pedestrians view this new development. Furthermore, the architecture and size of this proposal will also fit in with the existing commercial character along Gorom Avenue and Eisenhower Boulevard.

Finding 3. *That in assessing the potential affects of the proposed special review use, at a minimum, the following matters have been considered:*

3a. *Type, size, amount, and placement of landscaping;*

The landscape plan identifies appropriate bufferyards and screening proposed with the development. Landscaping quantities exceed the bufferyard standards overall with a special focus along the north, east and west sides through the use of cluster plantings in areas identified by staff as needing additional screening. Plant sizes meet or exceed the sizes required in the Municipal Code and a large detention pond help reduce any tendencies towards this site feeling monolithic in design.

3b. *Height, size, placement, and number of signs;*

No signage proposed at this time.

3c. *Use, location, number, height, size, architectural design, materials, and colors of buildings;*

Development of the self-storage facility is in a similar, but more modern design motif as the surrounding commercial corridor. In kind storefront style windows cap the prominent three-story building as to assimilate itself with other neighboring commercial buildings while the overall material composition remains consistent by using stone veneers, and wood look-alike paneling systems.

3d. *Configuration and placement of vehicular and pedestrian access and circulation;*

Configuration and placement of vehicular and pedestrian access and circulation is compliant with City standards. A 5' wide attached sidewalk along Gorom Avenue and 5' attached sidewalk along internal private drives give pedestrians ample access and connection to the surrounding properties. Primary vehicular entry and exit points are at a single location on Gorom Avenue with emergency and maintenance egresses on adjacent private drives. Both Transportation and Fire Department staff have reviewed the special review plans and have indicated compliance with the City's Adequate Communities Facilities Ordinance.

3e. *Amount and configuration of parking;*

Per the City of Loveland's parking requirements, 1 space is needed for every 300 SF of office space with an additional two spaces for employees, totaling 9 spaces and 1 handicap which are provided. A place for 3 bicycle parking spaces is also accommodated per the code and is in compliance. Additionally, parking is oriented inwards and does not adversely affect those along Eisenhower Boulevard.

3f. *Amount, placement, and intensity of lighting;*

A photometric plan was provided and is compliance. No light pollution, beyond what is allowed, is shown to go beyond their property lines. Additionally, all wall mounted and free standing lights are full cut-off and within our height limitations.

3g. *Hours of operation;*

Secure access is permitted only from approximately 8am to 10pm, while staff is on site from approximately 9pm to 6pm. These times are permitted and are in compliance.

3h. *Emissions of noise, dust fumes, glare and other pollutants.*

Traffic noise is not expected to be of any concern as all drives face inward on the property. The other issues in this section are not applicable for this project.

Finding 4. *Except as may be varied in accordance with this special review permit, the special review site plan conforms to the restrictions and regulations set forth in the Loveland Municipal Code for the zoning district in which the special review use is located.*

The proposed special review meets this finding. Through the special review, the self-storage facility will both enhance and add connectivity to what is currently, a primarily vacant property. This design proposal fits in with the surrounding corridor character while remaining sensitive to the neighboring commercial developments. The proposed site, infrastructure and landscape

standards comply with all normal applicable restrictions and regulations set forth in the site development performance standards and guidelines.

Finding 5. *The special review site plan meets the requirements set forth in the Section 16.41 – Adequate Community Services – of the Loveland Municipal code.*

Transportation: Staff believes that this finding can be met, due to the following:

- A Traffic Impact Study (TIS), prepared by DB Enterprise, LLC, dated November 22, 2016 has been submitted with the Lockaway Self Storage Special Review Plan and application which demonstrates that the existing transportation system, can adequately serve the proposal.
- Access to the development will be provided by a proposed full-movement accesses to Gorom Avenue.
- The TIS has demonstrated that the operation at the proposed access will meet City level of service standards.
- The proposed self-storage facility is estimated to generate approximately 253 daily trips, 15 weekday AM peak hour trips, and 27 weekday PM peak hour trips.

In conclusion, the use of the subject property pursuant to any of the uses permitted by right under the zoning district will not adversely impact any existing City infrastructure. A positive determination of adequacy for transportation facilities for the proposed application has been made under the provisions of paragraph i, above.

Fire: Staff believes that this finding can be met, based on the following facts:

- The development site will comply with the requirements in the ACF Ordinance for response distance requirements from the first due Engine Company.
- The Lockaway Self Storage development will not negatively impact fire protection for the subject development or surrounding properties.

Water/Wastewater:

This development is situated within the City’s current service area for both water and wastewater. The proposed lot is currently vacant and there are currently no service to the site. The proposed design will realign a piece of City wastewater main from flowing down N Monroe Ave to N Madison Ave. The Department finds that the Development will be compliant to ACF for the following reasons:

- The proposed development will not negatively impact City water and wastewater facilities.
- The proposed public facilities and services are adequate and consistent with the City’s utility planning and provides for efficient and cost-effective delivery of City water and wastewater service.

Stormwater: Staff believes that this finding can be met, due to the following:

- This project complies with the Adequate Community Services ordinance outlined in the Loveland Municipal Code, Section 16.41.140.

Power: Staff believes that this finding can be met, due to the following:

- Believes this project will have no negative impact on our system and complies with the ACF ordinance outlined in the Loveland Municipal Code.
- The proposed public facilities and services are adequate and consistent with the City's utility planning and provides for efficient and cost-effective delivery of City power.

The special review site plan meets the requirements set forth in Section 16.41.150 -- Adequate Community Facilities of the Loveland Municipal Code.

VIII. CONDITIONS OF APPROVAL

Planning:

1. Before issuance of a Certificate of Occupancy by the City, the Developer shall install all paving, striping and signage for the parking lot and circulation lanes, as shown on the approved plans, unless financial security is filed by the Developer with the City to assure installation at a later date acceptable to the City.
2. Before issuance of a Certificate of Occupancy by the City, the Developer shall install all landscape as shown on the approved landscape plans, unless financial security is filed by the Developer with the City to assure installation at a later date acceptable to the City. Any water tap fees or water meter activation fees for irrigation taps and meters shall be included in said financial security.
3. All landscape shall be maintained in good health and vitality at all times. Any dead, dying or deteriorating landscape shall be rejuvenated or replaced at the beginning of the next available planting season.
4. Before issuance of a Certificate of Occupancy by the City, the Developer shall install all other private improvements or amenities, such as private walks, fences, walls, etc. as shown on the approved plans, unless financial security is filed by the Developer with the City to assure installation at a later date acceptable to the City.
5. All exterior lighting shall comply with the lighting plans approved as part of the Site Development Plan. All exterior lighting shall be designed, installed and maintained in a manner that assures that no direct light or glare is visible beyond the property lines. Existing lighting that is not being altered with this application shall be exempt from this requirement.
6. All external HVAC and other external mechanical equipment related to the use(s) on the Property shall be fully screened from view as seen from all adjacent public streets.
7. Approval of this Site Development Plan does not grant or imply approval of any signs. All signs must meet the applicable sections of the City sign code. No signs may be installed or altered unless first approved by the City by issuance of a sign permit application.

8. All vertical surface lighting shall be designed, installed and maintained to assure that all direct light falls on the vertical surface or the finish grade directly below and meets all applicable City standards.

PW-Transportation:

1. All public improvements presented in the Preliminary Development Plan (FDP) or any accompanying Public Improvement Construction Plan (PICP) documents (text or graphical depictions), shall conform to the Larimer County Urban Area Street Standards (LCUASS).
2. City signed Preliminary Development Plans (including any associated PICP's) do not allow any construction within the public street or alley rights-of-way or pedestrian easements. A Development Construction Permit (DCP) must be obtained by the developer and/or his contractor at the City Project Engineering Office (and approved by Project Engineering) prior to any construction of sidewalk, curb & gutter, driveway accesses or any other construction in the City street ROW or pedestrian easements (this includes all items such as utility street cuts, sidewalk ramps, construction staging in the street, landscaping, traffic control etc...).
3. Prior to the issuance of any building permits for Lockaway Storage, Lumber First Addition, pursuant to the provisions in Section 16.40.010.B of the Loveland Municipal Code, the Developer shall design and construct all on-site improvements and street improvements as shown in the City approved Public Improvement Construction Plans unless already designed and constructed by others.
4. All trees, shrubs, and other plant materials located within the clear sight triangles shall be trimmed in accordance with the requirements of Section 7 of LCUASS. Under current LCUASS requirements, trees shall be limbed to a height of not less than eight (8) feet above any public street or sidewalk. Shrubs and other plant materials shall be maintained at a height of not more than thirty (30) inches, and said maintenance shall be conducted in perpetuity.

Water/Wastewater:

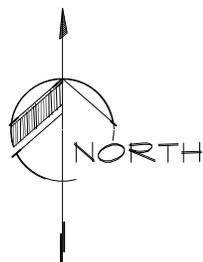
1. The Owner shall provide the City Water/Wastewater Division the gate access code and a 24 hour contact phone number prior to Building Permit Certificate of Occupancy.

IX. CORRECTIONS

General:

All corrections have been addressed.





VICINITY MAP
NOT TO SCALE



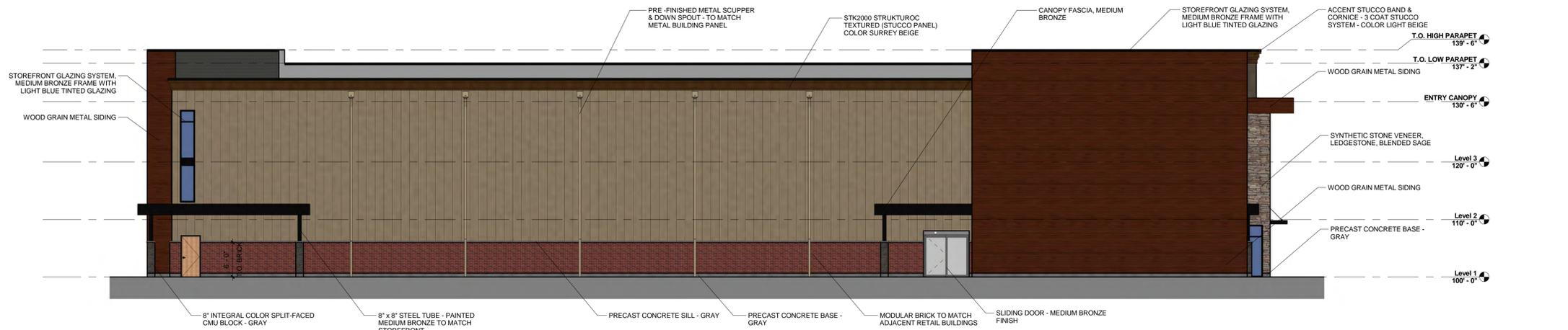
SPECIAL REVIEWAND SITE DEVELOPMENT PLAN
Lockaway Self Storage
Amended Plat of Tract A, Loveland Lumber First Addition and Lot 4, Amended Plat of Lots 3 and 4, Block 1, Shopko Second Subdivision
Being a lot merger of Tract A, Loveland Lumber First Addition and Lot 4, Amended Plat of Lots 3 and 4, Block 1, Shopko Second Subdivision, situate in the northeast quarter of Section 15, Township 8 North, Range 69 west of the 6th P.M., to the City of Loveland, County of Larimer, State of Colorado
1248 Gorom Avenue

SHEET TITLE: **VICINITY MAP**

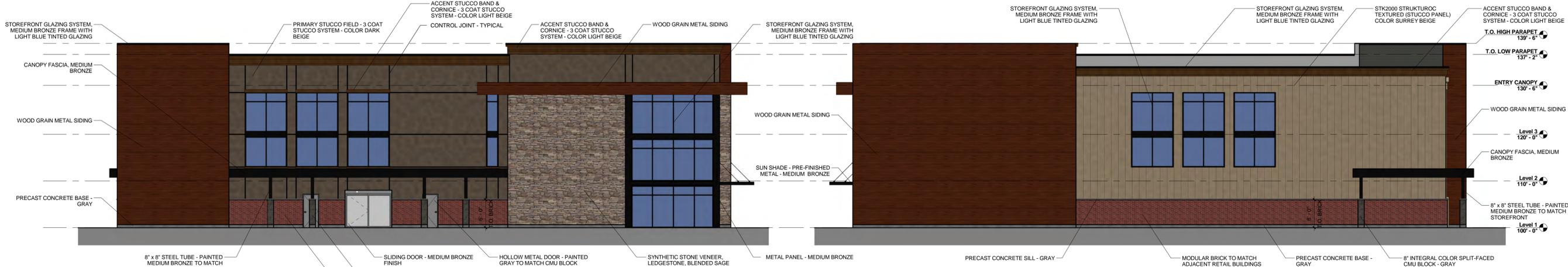
HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
970.669.8220
E-mail: info@hauserarchitectspc.com HauserArchitectspc.com

PROJECT NO.	DRAWN	RJL	12/9/16
	CHECKED		

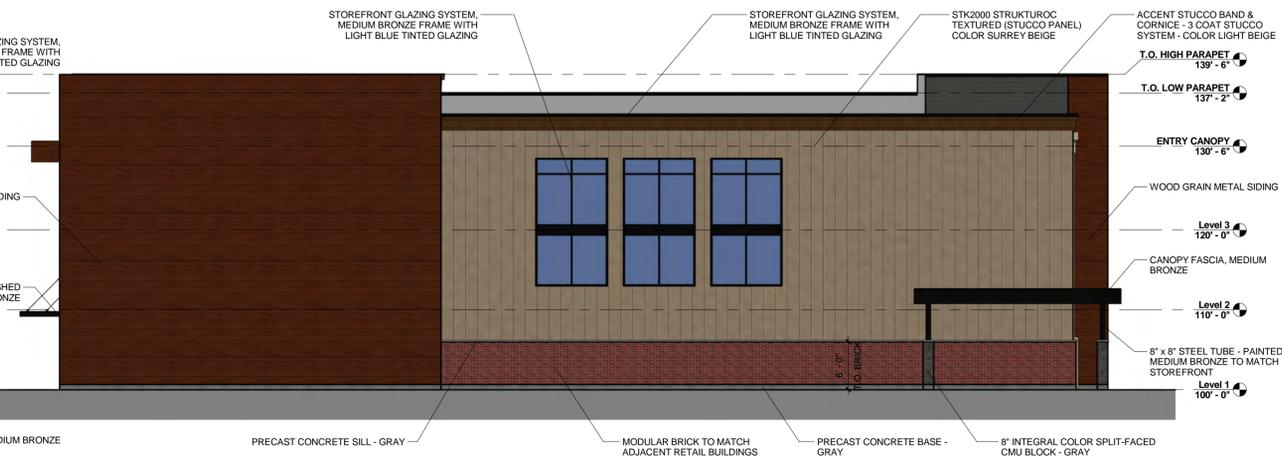
Hauser Architects, P.C. 3/6/2017 1:38:46 PM X:\Rick-Current Projects\Lockaway Self Storage (Rodriguez)\Revit\Project\Lockaway Self Storage.rvt



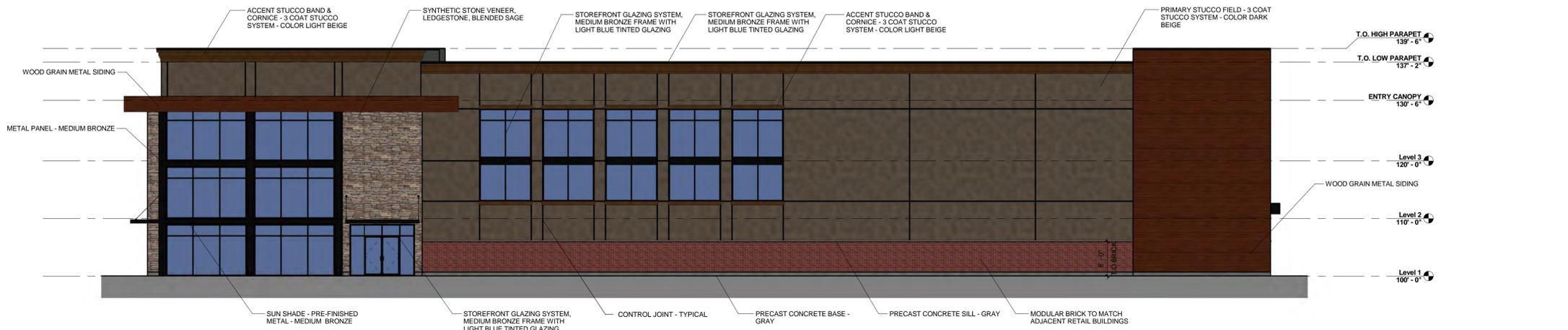
4 BUILDING #1 SOUTH ELEVATION
3/32" = 1'-0"



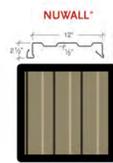
3 BUILDING #1 EAST ELEVATION
3/32" = 1'-0"



2 BUILDING #1 WEST ELEVATION
3/32" = 1'-0"



1 BUILDING #1 NORTH ELEVATION
3/32" = 1'-0"



MBCI ARCHITECTURAL NUWALL VERTICAL COLOR BROWNSTONE



PRIMARY STUCCO FIELD - 3 COAT STUCCO SYSTEM - COLOR DARK BEIGE



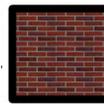
ACCENT BAND & CORNICE - 3 COAT STUCCO SYSTEM - COLOR LIGHT BEIGE



STK2000 STRUKTUROC TEXTURED (STUCCO PANEL) COLOR SURREY BEIGE



SYNTHETIC STONE VENEER, LEDGESTONE, BLENDED SAGE



MODULAR BRICK TO MATCH ADJACENT RETAIL BUILDINGS



WOOD GRAIN METAL SIDING



ACCENT COLOR - MEDIUM BRONZE

MATERIAL LEGEND

SPECIAL REVIEW AND SITE DEVELOPMENT PLAN

Lockaway Self Storage

Amended File of Lots 3 and 4, Block 11, Single Second Subdivision

CORNER OF E EISENHOWER BLVD & GORHAM AVE.

BUILDING #1 ELEVATIONS

REVISIONS

SR / SDP SITE PLAN SUBMITTAL R/JH 12.19.16

1. FIRST ROUND COMMENT REVISIONS R/JH 03.10.17

SHEET **4**

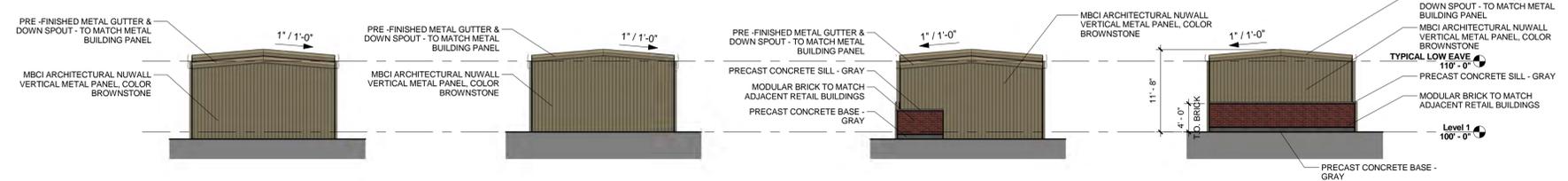
HAUSER
ARCHITECTS
3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
E-mail: info@hauserarchitects.com



8 BUILDING #3, 4 & 5 WEST ELEVATION
332' = 1'-0"



7 BUILDING #3, 4 & 5 EAST ELEVATION
332' = 1'-0"



6 BUILDING #3, 4 & 5 SOUTH ELEVATION
332' = 1'-0"

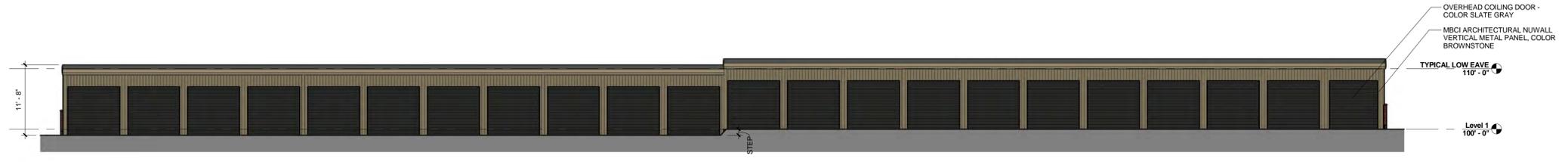
5 BUILDING #3, 4 & 5 NORTH ELEVATION
332' = 1'-0"

4 BUILDING #2 SOUTH ELEVATION
332' = 1'-0"

3 BUILDING #2 NORTH ELEVATION
332' = 1'-0"



2 BUILDING #2 WEST ELEVATION
332' = 1'-0"



1 BUILDING #2 EAST ELEVATION
332' = 1'-0"



MATERIAL LEGEND

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ARCHITECTS
3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
E-mail: info@hauserarchitects.com
HauserArchitects.com

SPECIAL REVIEW AND SITE DEVELOPMENT PLAN
Lockaway Self Storage
Amended Plan of Lots 3 and 4, Block 11, Single Second Subdivision
CORNER OF E EBENSMAYER BLVD & GORHAM AVE.
BUILDINGS #2, 3, 4 & 5 ELEVATIONS

REVISIONS	DATE	BY	DESCRIPTION
SRI / SDP SITE PLAN SUBMITTAL	R/JH 12.19.16		
1. FIRST ROUND COMMENT REVISIONS	R/JH 03.10.17		

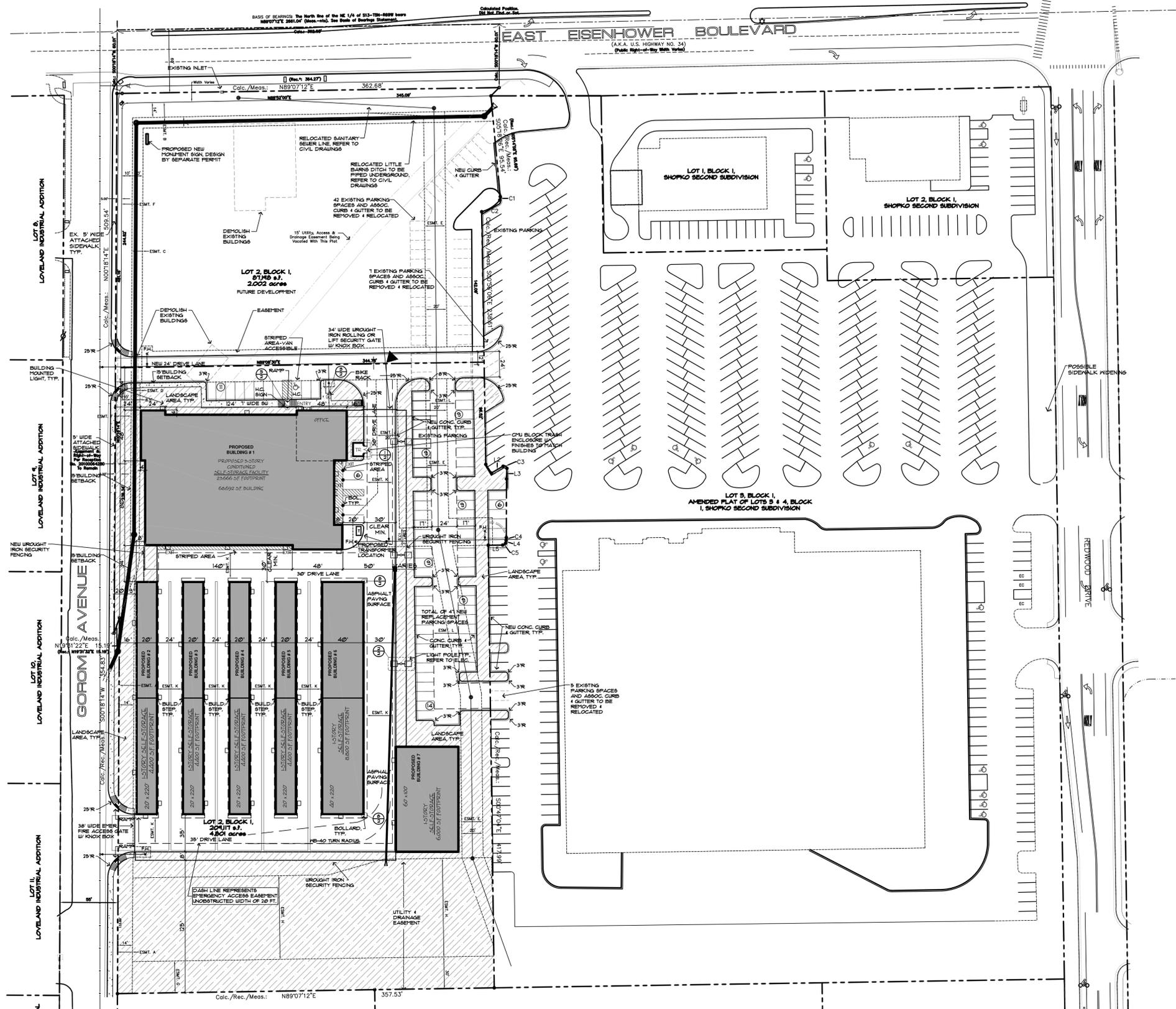
EASEMENT DESCRIPTION LEGEND

- ESMT. A: 14' Utility, Access, Postal & Drainage Easement per the Amended Plat of Lots 3 & 4, Block 1, Shopko Second Subdivision To Remain.
- ESMT. B: 14' Utility, Postal & Drainage Easement Being Dedicted With This Plat.
- ESMT. C: 10' Drainage and Irrigation Easement Being Dedicted With This Plat.
- ESMT. D: 8.5' Drainage and Irrigation Easement Being Dedicted With This Plat.
- ESMT. E: 20' Utility Easement Being Dedicted With This Plat.
- ESMT. F: 10' Utility, Postal & Drainage Easement Being Dedicted With This Plat.
- ESMT. G: 30' Utility Easement per the Amended Plat of Lots 3 & 4, Block 1, Shopko Second Subdivision To Remain.
- ESMT. H: Utility & Drainage Easement per the Amended Plat of Lots 3 & 4, Block 1, Shopko Second Subdivision To Remain.
- ESMT. J: Dralange Easement (Width Varies) Being Dedicted With This Plat.
- ESMT. K: Emergency Access Easement (Width Varies) Being Dedicted With This Plat.
- ESMT. L: 24' Emergency Access Easement & Private Access Easement Being Dedicted With This Plat.

Note: AMENDED PLAT OF LOTS 3 & 4, BLOCK 1, SHOPKO SECOND SUBDIVISION to the City of Loveland, County of Larimer, State of Colorado filed for record May 9, 2008 in the real property records of the Office of the Clerk and Recorder of Larimer County, Colorado at Reception No. 20080029495.

SITE GENERAL NOTES

1. ALL WORK SHALL BE IN STRICT COMPLIANCE WITH INTERNATIONAL BUILDING CODE CURRENT EDITION, AND ALL OTHER STATE AND LOCAL CODES AND BUILDING REQUIREMENTS THAT APPLY.
2. CONTRACTOR AND SUBCONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL WORK SHOWN ON PLANS, CALLED FOR IN SPECIFICATIONS, OR REASONABLY IMPLIED FOR A COMPLETE INSTALLATION. EVEN THOUGH NEITHER SHOWN ON PLANS OR CALLED OUT IN SPECIFICATIONS.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON DRAWINGS WITH ACTUAL FIELD CONDITIONS. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY AND FIELD VERIFY FOR BIDDING.
4. REFER TO GRADING AND DRAINAGE PLAN FOR ALL SITE ELEVATIONS AND TOPOGRAPHICAL DATA. RE: CIVIL.
5. REFER TO UTILITY PLAN FOR LOCATION AND SIZE OF ALL EXISTING UTILITY MAINS AND SERVICE CONNECTIONS.
6. ALL DEVELOPMENT SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SUBSURFACE SOILS INVESTIGATION AND REPORT.
7. REFER TO LANDSCAPE PLAN FOR ALL PLANTING MATERIAL.
8. ALL SITE LIGHTING WILL BE BUILDING MOUNTED OR FREE STANDING FIXTURES SITUATED AND DIRECTED SO AS NOT TO CAUSE GLARE ON ADJACENT PROPERTIES OR PUBLIC RIGHT-OF-WAYS. RE: ELECTRICAL.
9. ALL BUILDING MOUNTED AND FREESTANDING SIGNS ARE BY SEPARATE PERMIT. ALL SIGNS MUST MEET APPLICABLE REQUIREMENTS AND SHALL COMPLY WITH THE CITY OF LOVELAND SIGN CODE.
10. BICYCLE RACKS ARE TO BE PERMANENTLY ANCHORED TO CONCRETE AND WILL NOT INTERFERE WITH PEDESTRIAN WALKWAYS.
11. ALL HANDICAP PARKING SPACES AND RAMP ARE TO BE VERIFIED WITH CIVIL ENGINEER FOR GRADING, DRAINAGE, AND ACCESSIBLE ROUTE CONSIDERATIONS. HANDICAP PARKING SPACES SHOULD SLOPE NO MORE THAN 1:48 IN ANY DIRECTION. ALL ACCESSIBLE ROUTES SHOULD SLOPE NO MORE THAN 1:20 IN DIRECTION OF TRAVEL AND NO MORE THAN 1:48 CROSS SLOPE.
12. ALL INTERNAL PEDESTRIAN WALKWAYS SHALL BE DISTINGUISHED FROM DRIVING SURFACES THROUGH THE USE OF DURABLE LOW-MAINTENANCE SURFACE MATERIALS SUCH AS SCORED CONCRETE TO ENHANCE PEDESTRIAN SAFETY AND COMFORT AS WELL AS THE ATTRACTIVENESS OF THE WALKWAYS.
13. KEEP SITE AND BUILDING ACCESSIBLE AND SAFE TO CONTRACTORS PERSONNEL, OWNER'S EMPLOYEES AND PUBLIC AT ALL TIMES. CONTRACTOR SHALL ENSURE SAFETY OF PERSONNEL, OWNER AND PUBLIC DURING ALL WORK AND COMPLY WITH ALL APPLICABLE REGULATIONS AND ORDINANCES PERTAINING TO SAFETY OF PERSONS AND PROPERTY.
14. CONFINE ALL WORK ON SITE TO AREAS OF SITE UNDER CONSTRUCTION UNLESS APPROVED BY OWNER. ALL ON-SITE CONTRACTOR/SUBCONTRACTOR PARKING AND MATERIAL STORAGE SHALL BE AS APPROVED BY OWNER. DO NOT BLOCK PUBLIC STREETS OR SIDEWALKS DURING CONSTRUCTION, UNLESS APPROVED OTHERWISE BY OWNER AND PUBLIC AGENCIES.
15. INSTALL ALL WORK IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, ANCHORING ALL COMPONENTS PLUMB, LEVEL, SQUARE, AND FIRMLY INTO PLACE IN FIRST CLASS MANNER AND WORKMANSHIP ACCORDING TO STANDARD CONSTRUCTION PRINCIPLES.
16. PROTECT EXIST. OR ADJACENT SITE IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. REPLACE OR REPAIR ANY DAMAGED IMPROVEMENTS, MATERIALS, FINISHES, FURNISHINGS OR EQUIP. TO FULL SATISFACTION OF THE OWNER & ARCHITECT.
17. ALL MATERIAL REMOVED THROUGH DEMOLITION SHALL BECOME PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE AND SHALL BE REMOVED FROM PROJECT SITE AND DISPOSED OF IN A LAWFUL MANNER, UNLESS NOTED OTHERWISE.
18. CONTRACTOR SHALL CLEAN UP AFTER WORK EACH DAY AND AT THE COMPLETION OF THE WORK.
19. MAINTAIN ALL POINTS OF EGRESS FROM BUILDING TO BE CLEAR AND ACCESSIBLE - COORDINATE WITH THE OWNER.



LINE TABLE

NOTE: All Bearings and Distances listed below are Calc./Rec./Meas.

LINE	BEARING	LENGTH
L1	S32°56'28"E	9.80'
L2	N59°53'12"E	12.82'
L3	S02°17'37"W	9.97'
L4	S11°04'49"W	2.79'
L5	S89°19'43"W	13.70'

CURVE TABLE

NOTE: C1-C5 Curve Data listed below are Calc./Rec./Meas.

CURVE	DELTA	RADIUS	LENGTH	BEARING	CHORD
C1	27°01'33"	7.04'	3.32'	N08°16'18"E	3.29'
C2	37°31'33"	31.68'	20.75'	N57°21'58"E	20.38'
C3	127°44'51"	2.30'	5.13'	N61°36'06"W	4.13'
C4	09°19'05"	15.82'	2.57'	N04°39'28"E	2.57'
C5	92°40'49"	2.26'	3.66'	N57°05'38"E	3.27'
C6	88°33'46"	5.00'	7.73'	S44°35'07"W	6.98'

DRAWING LEGEND:

- BUILDING
- EXISTING & NEW LANDSCAPE AREAS
- NEW CONCRETE SIDEWALK

NORTH

SITE PLAN
SCALE: 1" = 50'-0"

CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR EXCAVATE
FOR THE MARKING OF UNDERGROUND
MEMBER UTILITIES.

HAUSER

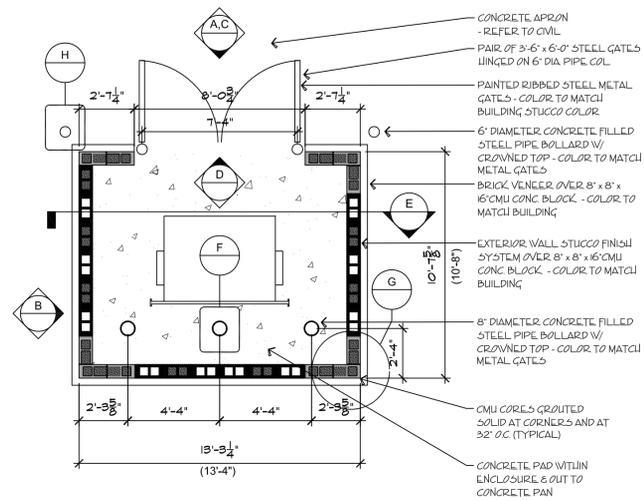
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3780 East 15th Street, Suite 201 • Loveland, Colorado 80538
E-mail: info@hauserarchitects.com

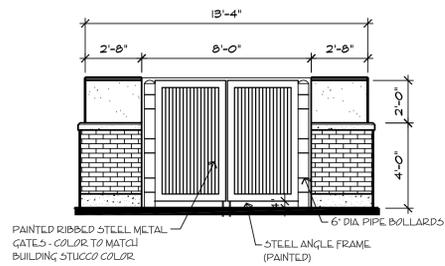
SPECIAL REVIEW AND SITE DEVELOPMENT PLAN
Lockaway Self Storage
Amended Plat of Tract A, Loveland Lumber First Addition and Lot 4,
Amended Plat of Lots 3 and 4, Block 1, Shopko Second Subdivision
Being a lot merger of Tract A, Loveland Lumber First Addition and Lot 4,
Amended Plat of Lots 3 and 4, Block 1, Shopko Second Subdivision,
situate in the 10th Meridian, Township 38N, Range 106W, Section 36, of the 6th P.M.,
to the City of Loveland, County of Larimer, State of Colorado
1248 Gorum Avenue
SITE PLAN
SHEET TITLE

PROJECT NO.	DRAWN	DATE
SR / SDP SITE PLAN SUBMITTAL	RJA	12/15/16
SHEET	1	

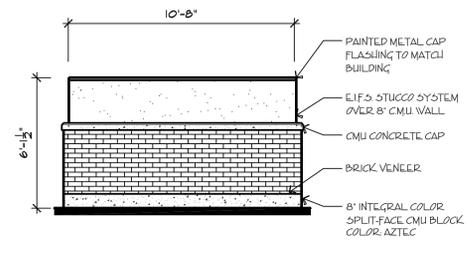
C:\Risk-Current Projects\Lockaway Self Storage (Rodriguez)\13) SDP-SR\1st Round\Architectural\Rodriguez_SDP_Site Plan.dwg, Site Plan, 12/20/16 10:20:14AM



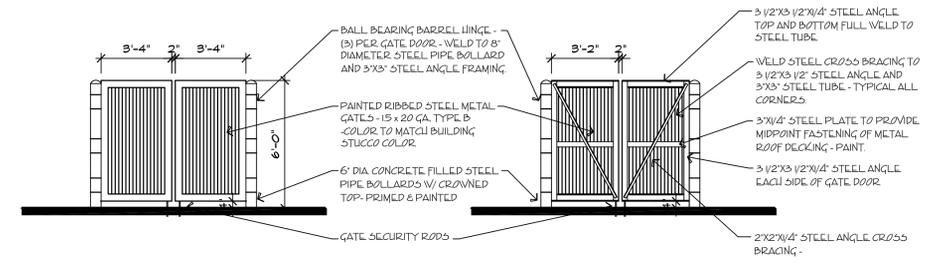
1 TRASH ENCLOSURE DETAILS
 SCALE: 1/4" = 1'-0"



1A TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"

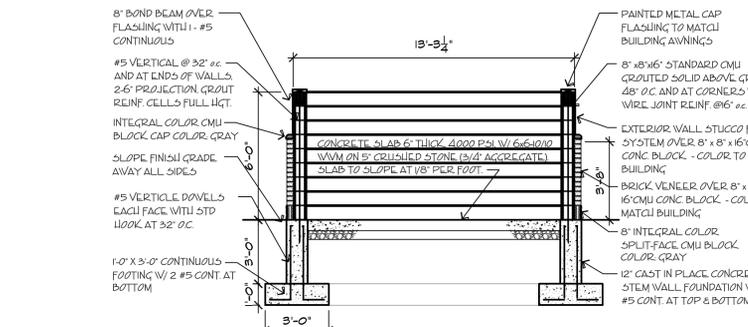


1B TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"

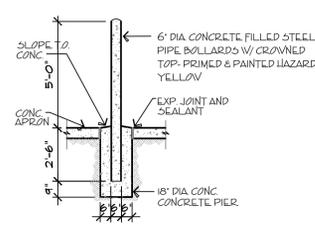


1C TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"

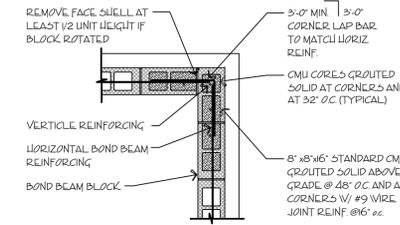
1D TRASH ENCLOSURE ELEVATION
 SCALE: 1/4" = 1'-0"



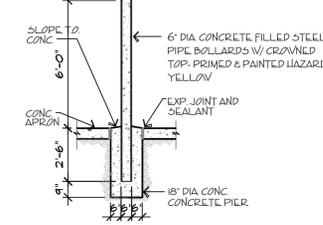
1E TRASH ENCLOSURE SECTION
 SCALE: 1/4" = 1'-0"



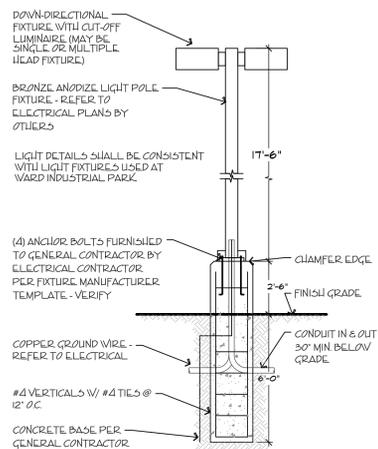
1F BOLLARD DETAIL
 SCALE: 1/4" = 1'-0"



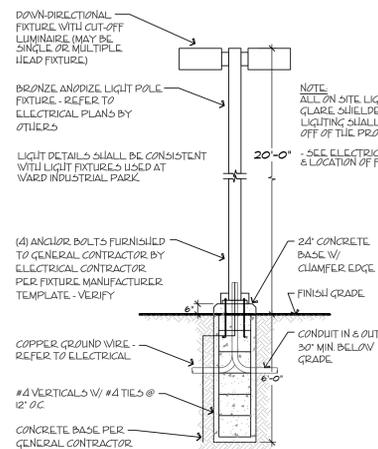
1G BLOCK REINFORCING DETAIL
 SCALE: 1/2" = 1'-0"



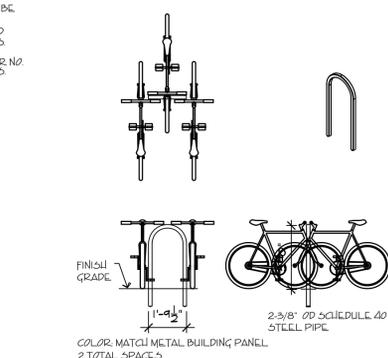
1H BOLLARD DETAIL
 SCALE: 1/4" = 1'-0"



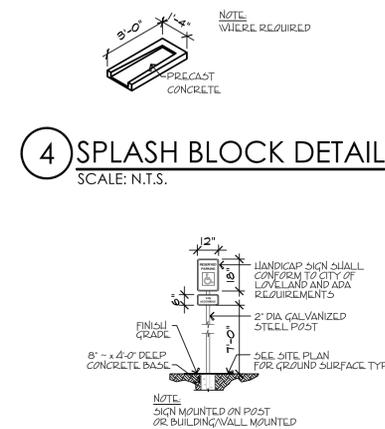
2 LIGHT POLE DETAILS
 SCALE: N.T.S.



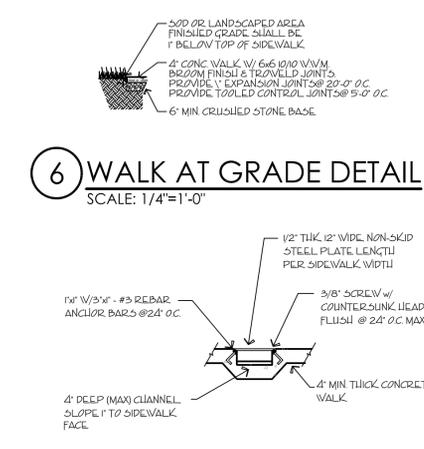
2 LIGHT POLE DETAILS
 SCALE: N.T.S.



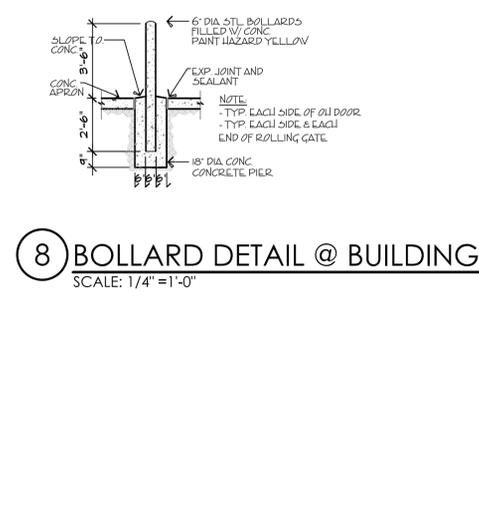
3 BICYCLE RACK DETAIL
 SCALE: 1/4" = 1'-0"



4 SPLASH BLOCK DETAIL
 SCALE: N.T.S.



6 WALK AT GRADE DETAIL
 SCALE: 1/4" = 1'-0"



8 BOLLARD DETAIL @ BUILDING
 SCALE: 1/4" = 1'-0"

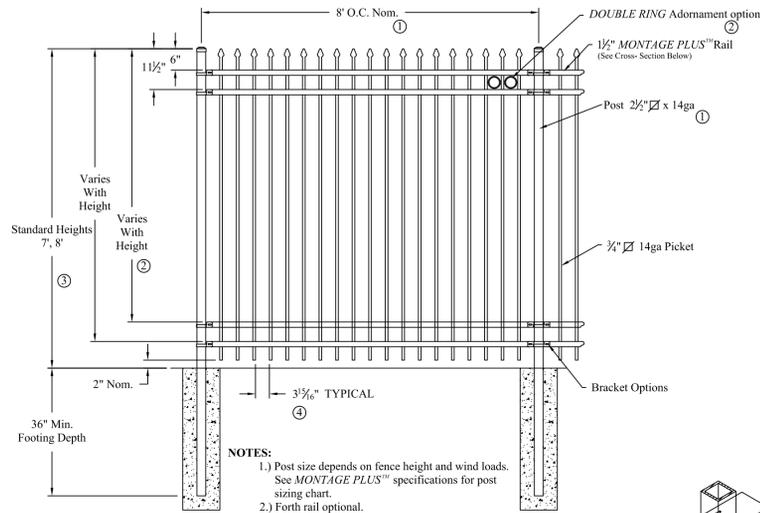
5 HANDICAP SIGN DETAIL
 SCALE: 1/4" = 1'-0"

7 SIDEWALK CHASE DETAIL
 SCALE: N.T.S.

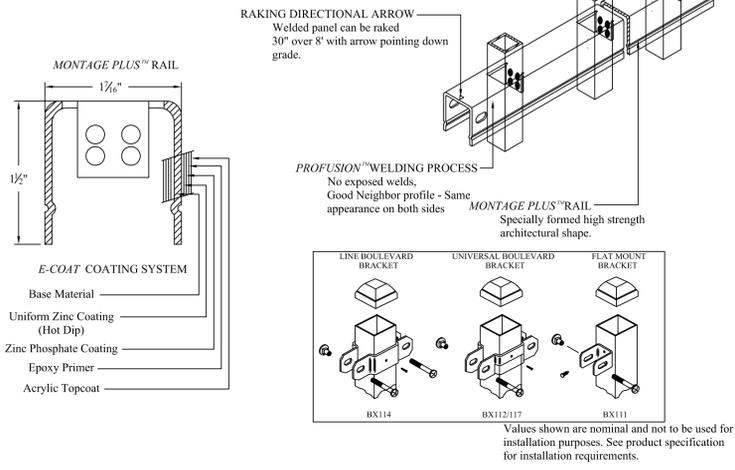


SITE DETAILS

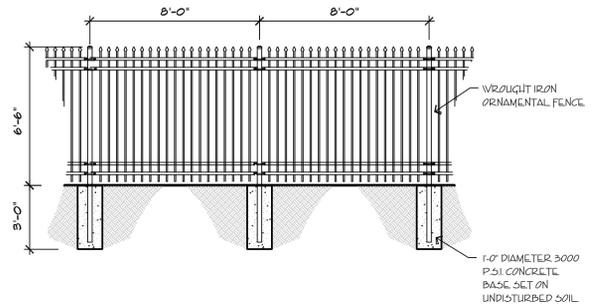
PROJECT NO.	DRAWN	DATE
SR / SDP SITE PLAN SUBMITTAL	RJH	8/16
SHEET	2	



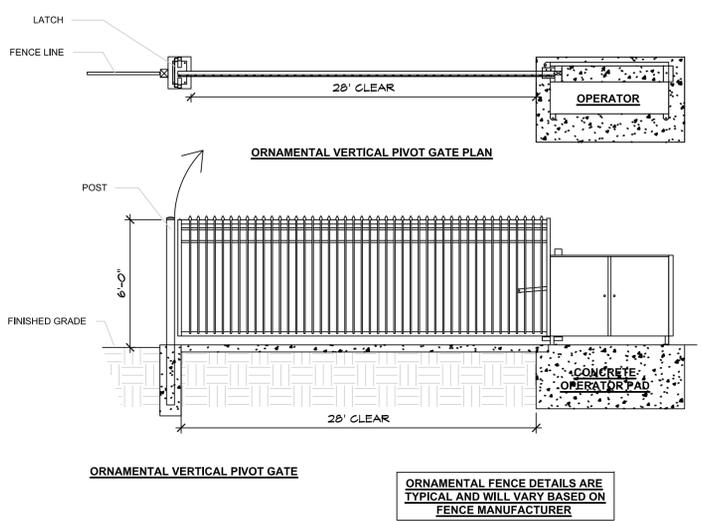
NOTES:
 1.) Post size depends on fence height and wind loads. See MONTAGE PLUS™ specifications for post sizing chart.
 2.) Forth rail optional.
 3.) 7' - 8' Heights will require a 14ga Picket & 14ga Post.



1 ORNAMENTAL FENCE DETAIL
 SCALE: N.T.S.



2 ORNAMENTAL FENCE BAY ELEVATION
 SCALE: 1/4" = 1'-0"

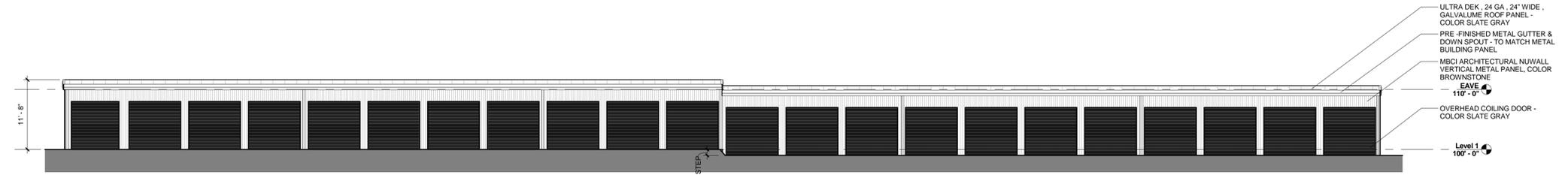


2 ORNAMENTAL FENCE GATE DETAILS
 SCALE: 1/4" = 1'-0"

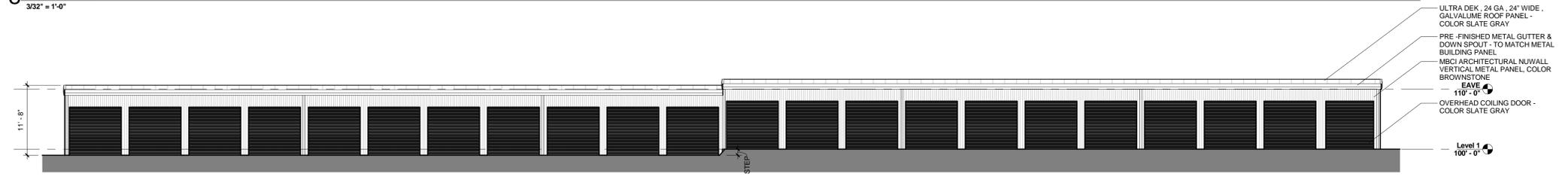


SITE DETAILS

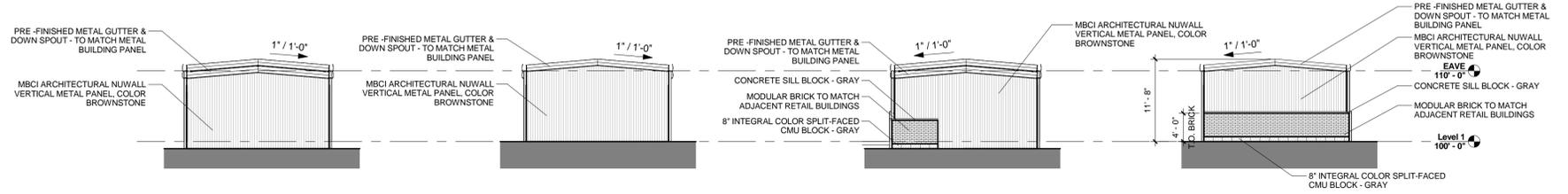
PROJECT NO.	DRAWN	CHECKED
SR / SDP SITE PLAN SUBMITTAL	RJH	SRB



8 BUILDING #3, 4 & 5 WEST ELEVATION
332' = 1'-0"



7 BUILDING #3, 4 & 5 EAST ELEVATION
332' = 1'-0"

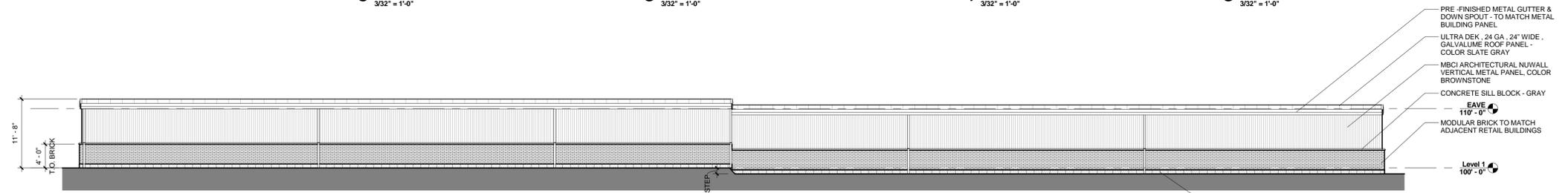


6 BUILDING #3, 4 & 5 SOUTH ELEVATION
332' = 1'-0"

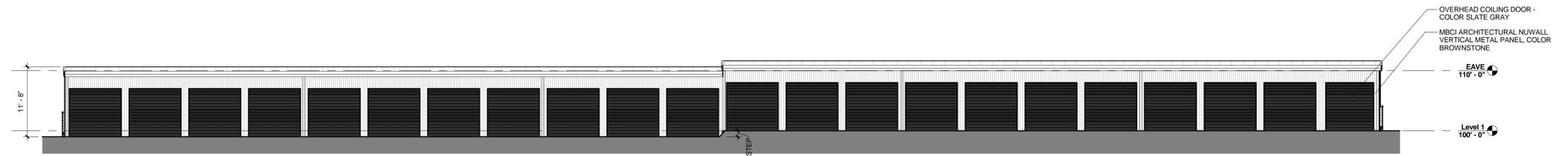
5 BUILDING #3, 4 & 5 NORTH ELEVATION
332' = 1'-0"

4 BUILDING #2 SOUTH ELEVATION
332' = 1'-0"

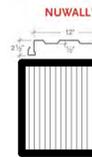
3 BUILDING #2 NORTH ELEVATION
332' = 1'-0"



2 BUILDING #2 WEST ELEVATION
332' = 1'-0"



1 BUILDING #2 EAST ELEVATION
332' = 1'-0"



MBCI ARCHITECTURAL NUWALL VERTICAL, COLOR BROWNSTONE



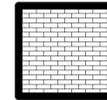
PRIMARY STUCCO FIELD - 3 COAT STUCCO SYSTEM - COLOR DARK BEIGE



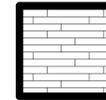
ACCENT BAND & CORNICE - 3 COAT STUCCO SYSTEM - COLOR LIGHT BEIGE



SYNTHETIC STONE VENEER, LEDGESTONE, BLENDED SAGE



MODULAR BRICK TO MATCH ADJACENT RETAIL BUILDINGS



WOOD GRAIN METAL SIDING



ACCENT COLOR - MEDIUM BRONZE

MATERIAL LEGEND

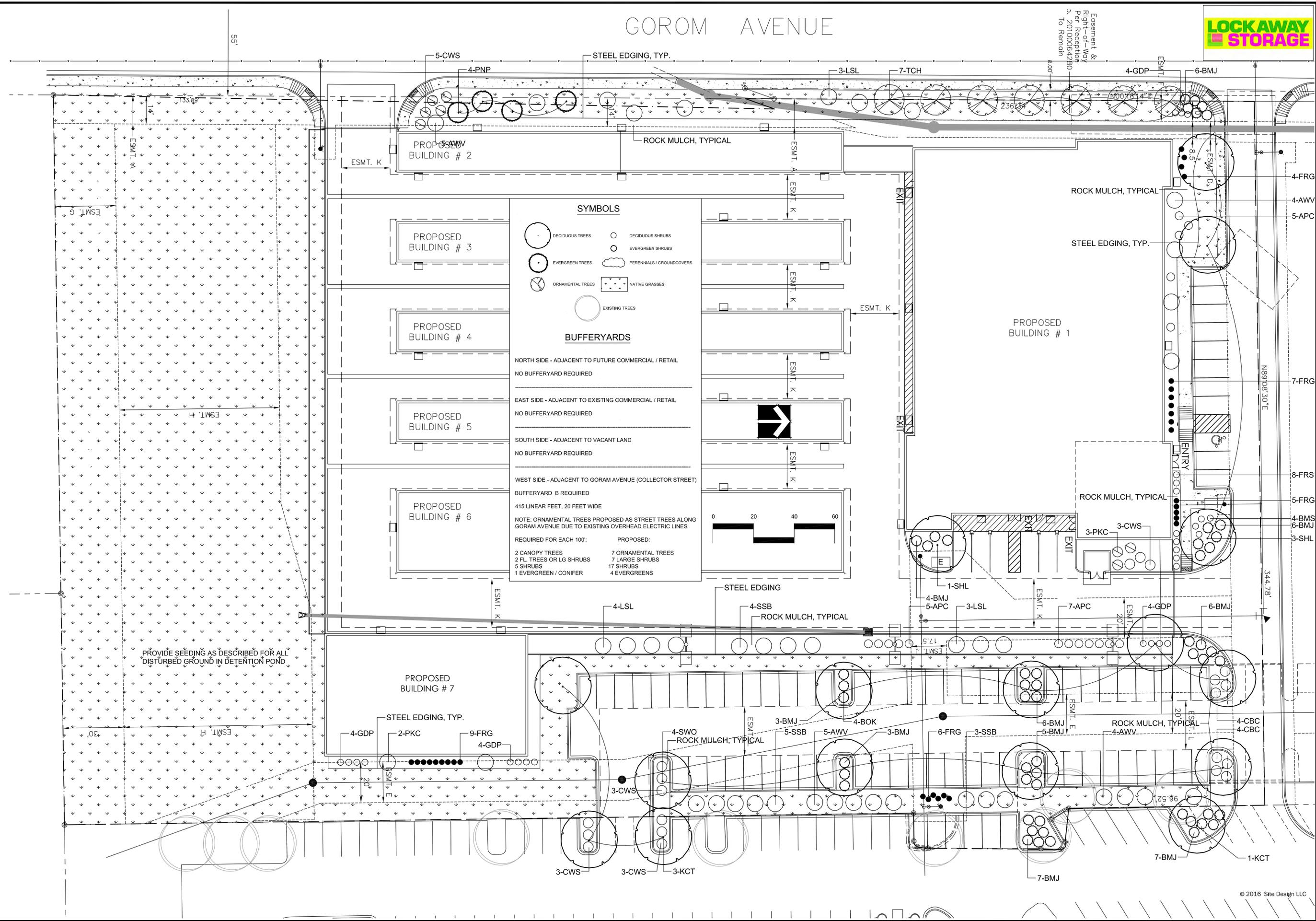
Amended File of Lots 3 and 4, Block 1, Single Second Subdivision
Amended File of Lots 3 and 4, Block 1, Single Second Subdivision
Amended File of Lots 3 and 4, Block 1, Single Second Subdivision
Amended File of Lots 3 and 4, Block 1, Single Second Subdivision
1248 GOVERN AVENUE

REVISIONS	DATE	BY	DESCRIPTION
SRI / SDP SITE PLAN SUBMITTAL	12.19.16	RJH	

GOROM AVENUE



Easement & Right-of-Way Per Reception 3-20100064280 To Remain



SPECIAL REVIEWAND SITE DEVELOPMENT PLAN
Lockaway Self Storage

Amended Plat of Tract A, Loveland Lumber First Addition and Lot 4, Amended Plat of Lots 3 and 4, Block 1, Shopko Second Subdivision Being a lot merger of Tract A, Loveland Lumber First Addition and Lot 4, situated in the northeast quarter of Section 3, Township 8 north, Range 68 west of the 6th P.M. to the City of Loveland, County of Larimer, State of Colorado.
1248 Gorom Avenue

PRELIMINARY NOT FOR CONSTRUCTION

Landscape Plan

Date: 12-20-16
Revised:
Revised:
Revised:
Scale: 1" = 20'

Sheet:
8



SPECIAL REVIEW AND SITE DEVELOPMENT PLAN
 Lockaway Self Storage

PRELIMINARY
 NOT FOR
 CONSTRUCTION

Irrigation
 Plan

Date: 12-20-16
 Revised:
 Revised:
 Revised:
 Scale: 1" = 20'

Sheet:
10

GOROM AVENUE

Easement &
 Right-of-Way
 Per Reception
 No. 20100064280
 To Remain

A1
 1" DRIP

A2
 1" DRIP

A5
 1" DRIP

A4
 1" DRIP

A3
 1" DRIP

LEGEND

- SLEEVING: CLASS 200 PVC PIPE, TWICE THE SIZE OF ENCLOSED PIPE
- MAINLINE: 1" CLASS 200 PVC PIPE
- LATERAL PIPE TO EMITTERS: UV RADIATION RESISTANT POLYETHYLENE (1-INCH SIZE, ROUTING SHOWN IS DIAGRAMMATIC)
- UNCONNECTED PIPE CROSSING
- POINT-OF-CONNECTION (P.O.C.) ASSEMBLY
- 1" PRESSURE BACKFLOW PREVENTION DEVICE
- REMOTE CONTROL VALVE ASSEMBLY FOR DRIP LATERALS
 RAINBIRD XZZ 100 IN 12" RECTANGULAR CARSON VALVE BOX
- GATE VALVE ASSEMBLY
- FLUSH CAP ASSEMBLY IN 6" ROUND CARSON VALVE BOX
- IRRIGATION CONTROLLER UNIT
 CONTROLLER: RAIN BIRD ESPM-SMTEI and 1 ESPSM3 EXPANSION MODULE.
 CONFIRM LOCATION WITH GC OR OWNER'S REPRESENTATIVE
- INDICATES CONTROLLER AND CONTROLLER STATION NUMBER
- INDICATES LATERAL DISCHARGE IN GPM
- INDICATES REMOTE CONTROL VALVE SIZE IN INCHES

- IRRIGATION NOTES**
1. SYSTEM DESIGN ASSUMES 60 PSI AND 25 GPM AT POINT OF CONNECTION. VERIFY PRESSURE AND FLOW ON SITE PRIOR TO CONSTRUCTION.
 2. HAVE ALL UTILITIES LOCATED BEFORE CONSTRUCTION. COORDINATE ALL WORK WITH OTHER TRADES.
 3. DRAWINGS ARE DIAGRAMMATIC. INSTALL ALL IRRIGATION COMPONENTS IN LANDSCAPED AREAS WHENEVER POSSIBLE. AVOID CONFLICTS WITH PLANT MATERIALS, ARCHITECTURAL FEATURES AND OBSTRUCTIONS ON SITE.
 4. USE ONLY STANDARD TEE AND ELBOW FITTINGS - NO CROSS FITTINGS.
 5. SELECT NOZZLES FOR SPRAY AND ROTARY HEADS THAT PROVIDE 100% COVERAGE WITH A MINIMUM OF OVERSPRAY.
 6. INSTALL BACKFLOW PREVENTION DEVICE PER LOCAL CODE.
 7. USE 14 GAUGE DIRECT BURY SINGLE CONDUCTOR CONTROL WIRES. PROVIDE 2 ADDITIONAL CONTROL WIRES FROM CONTROLLER TO END OF MAINLINE FOR FUTURE EXPANSION.
 8. ALL SHRUB AREAS SHALL BE IRRIGATED USING DRIP IRRIGATION. TREES SHALL BE IRRIGATED WITH 5 EMITTERS, AND 5 GALLON SHRUBS WITH 2 EMITTERS. PERENNIALS AND GROUNDCOVERS SHALL BE IRRIGATED WITH ONE EMITTER PER PLANT.

